



Southern Downs
REGIONAL COUNCIL

DECISION NOTICE
CHANGE APPLICATION
Planning Act 2016 s 83

Our Ref: AMD:AMD/MCU\01964.01

3 July 2018

**Please address all
communications to:**

The Chief Executive Officer
Southern Downs
Regional Council
PO Box 26
Warwick Qld 4370

mail@sdrcl.qld.gov.au
www.sdrcl.qld.gov.au

abn 59 786 792 651

Warwick Office

64 Fitzroy Street
Warwick Qld 4370

Stanthorpe Office

61 Marsh Street
Stanthorpe Qld 4380

t **1300 MY SDRC**
(1300 697 372)

f **07 4661 0333**

Terrain Solar Pty Ltd
PO Box 1113
MANLY NSW 2095

Attention: Simon Ingram

Dear Simon

Change Application – Renewable Energy Facility – Gleesons Road, Jensens Road, Robinson Road and Freestone Road, Sladevale

I refer to your change application under section 78 of the *Planning Act 2016* received on 2 July 2018 for the development approval dated 27 June 2018.

A decision was made on 3 July 2018 by Delegated Authority to make the change and amend the conditions of approval. The conditions of the approval have been amended accordingly, and are attached as Schedule 1 to this notice.

The change agreed to is the amendment of Conditions 9 and 10 of Schedule 1.

If you require any further assistance, please contact Council's Planning and Compliance Coordinator, Annette Doherty, on 1300 697 372.

Yours faithfully

Peter Gribbin
Acting Director Planning, Environment and Corporate Services

Attach: Schedule 1 - Conditions of Approval
Negotiated Decision Notice
Appeals provisions

c.c. Department of State Development, Manufacturing, Infrastructure and Planning
ToowoombaSARA@dsdmip.qld.gov.au

Schedule 1 – Southern Downs Regional Council Conditions

Approved Plans

1. The development of the site is to be generally in accordance with the following proposal plans submitted with the application, and subject to the final development being amended in accordance with the conditions of this approval.

Plan Name	Plan No.	Date
Site Layout	PR136472-01-A	14/06/2018
Warwick Solar Farm Preliminary Layout	SP-01 Rev 4	10/01/2018
Landscape View Study	136472-5 L-0-01 Rev E	18/06/2018
Landscape View Study	136472-5 L-0-02 Rev B	18/06/2018

2. Where there is any conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval prevail.

Land Use and Planning Controls

3. This approval allows for the use of the site and existing dwellings for a Renewable energy facility (Solar farm) and ancillary activities including administration, research and education.
4. No solar panels are to be erected within the interface areas around the site in accordance with the Site Layout Plan (136472-01-A) and Landscape View Study (136472-5-L-0-01 Revision E and 136472-5-L-0-02 Revision B). Within the interface area, random plantings of a variety of native trees and shrubs of differing growth habits are to be provided. The trees and shrubs must be of species that are fast growing, frost resistant and drought hardy. The vegetated buffer around the periphery of the site is to be maintained so it provides an effective visual buffer.
5. The Renewable energy facility (Solar farm) may operate for a maximum of 25 years from the date the facility, or part of the facility, becomes operational. This timeframe may be extended for a further period of five years subject to soil tests demonstrating that there have been no adverse impacts on soil quality.
6. Site coverage of the solar panels must not exceed 30% of the total site area approximately.
7. A minimum separation distance of 2.5 metres must be provided between the rows of solar panels (at horizontal tilt).
8. The solar panels are to have a maximum height of 2.6 metres above finished ground level at maximum tilt.
9. The mounts for the solar panels are to be generally pile driven or screwed into the ground.
10. All coatings on cables and structures must be anti-reflective or have a matt finish.
11. The site is to be used for the grazing of stock.
12. During operations, grass cover is to be maintained throughout the site, except in those areas used for major access tracks or in buffer planting areas.

13. The solar panels are to be maintained in working order. If a panel is damaged or becomes inoperable, the panel is to be replaced as soon as practicable.
14. The following plans are to be submitted to Council for approval:
 - (a) Prior to commencement of construction
 - (i) Construction environmental management plan; and
 - (b) Prior to commencement of the use:
 - (i) Decommissioning program and asset removal schedule (including the removal of all on-site infrastructure associated with the Solar farm, including all underground infrastructure); and
 - (ii) Land rehabilitation and monitoring plan (including how the land will be rehabilitated to allow for future agricultural use), including restoration of landforms and contour banks if modified.

The Construction Environmental Management Plan must be prepared by a suitably qualified person and address the following:

- Hours of building and operational work activity
 - Air and noise quality management – emissions monitoring (day/night)
 - Stormwater quality management – including erosion and sediment control, how existing contour banks and landforms will be modified, and how stormwater outcomes will be maintained or improved. The construction phase stormwater management plan shall include RPEQ certification.
 - Waste management
 - Complaint monitoring and community engagement procedures
 - Dust suppression (road watering) program
 - Traffic management and monitoring plan
15. The site is to be decommissioned and rehabilitated in accordance with the approved Decommissioning program and asset removal schedule and Land rehabilitation and monitoring plan.

Amenity and Environmental Controls

16. During the construction phase of the development, all wastes must be separated into recyclables (where possible) and landfill wastes, and disposed of at the Warwick Central waste facility.
17. Declared pest plants on **all** the land subject to this application must be destroyed to the satisfaction of the Manager Environmental Services.
18. The loading and/or unloading of delivery and other service vehicles (excluding general waste collection vehicles) is limited between the hours of 7.00am and 7.00pm, Monday to Saturday, and between the hours of 8.00am and 3.00pm on Sundays. No heavy vehicles must enter the development site outside these times to wait for unloading/loading.
19. All wastes are to be suitably collected and disposed of so as not to adversely impact on the environment.
20. Any external lighting must be installed so that light shines down and away from adjacent properties and roads, and does not exceed 8 lux at the property boundary.
21. Prior to commencement of construction, certification from a suitably qualified person is to be submitted to Council demonstrating that

electromagnetic radiation (EMR) levels from equipment and infrastructure will not exceed recommended levels in accordance with the National Health and Medical Research Council's *Interim Guidelines on the limits of exposure to 50/60Hz electric and magnetic fields* (1989).

All EMR sources within the Proposed Solar Farm are to be located at an appropriate distance from the property boundary to ensure the electromagnetic radiation risk to the general public is negligible.

Fencing, Landscaping and Buffers

22. A security fence shall be erected within the site in accordance with the Landscape View Study Plan (136472-5-L-0-01 Revision E and 136472-5-L-0-02 Revision B). **Details of the proposed fencing are to be submitted to and approved by the Director Planning, Environment and Corporate Services prior to construction of the fencing commencing.** Fencing is to be provided and maintained in accordance with the approved details.
23. Landscaping is to be provided in accordance with the Landscape View Study Plan (136472-5-L-0-01 Revision E and 136472-5-L-0-02 Revision B) consisting of:
 - (a) in the 60 metre wide interface area: a 20 metre wide landscape strip and a 40 metre infrastructure buffer; and
 - (b) in the 20 metre wide interface area: a 10 metre wide landscape strip and a 10 metre infrastructure buffer.
24. **A detailed Landscaping Plan**, prepared by an appropriately qualified person, **is to be submitted to and approved by the Director Planning, Environment and Corporate Services** prior to construction commencing. The detailed Landscape Plan must include details of the location and species of plants, soil preparation and planting methods. Plants are to be generally fast growing, frost resistant and drought hardy, and must not include weed species. Root barriers are to be installed around trees that are located within 3 metres of any underground infrastructure. The site is to be landscaped and maintained in accordance with the approved Landscaping Plan, and to ensure it provides an effective visual buffer.

Car Parking and Vehicle Access

25. A gravel crossover crossing, adequate to cater for construction traffic, is to be constructed at the Jensens Road entrance to the site. The access gateway to the property must be located within a setback such that all vehicles proposed to enter and/or exit the land are able to stand clear of the carriageway whilst the property gateway is being opened and/or closed.
26. All vehicular access to and from the Solar farm must be via Jensens Road only.
27. The internal driveways are to be designed and constructed to allow an 8.8 metre service vehicle to enter and leave the site in forward gear.
28. At least five (5) car parking spaces are to be provided on site. Provision is to be made for disabled parking.
29. All loading and unloading of goods related to the development must be carried out within the confines of the site boundary. Under no circumstances will the loading or unloading of goods on the public roadway system be permitted.

Roadworks

30. A dedicated heavy vehicle access to the site shall be constructed at the location nominated on the Site Layout Plan (PR136472-01) prepared by RPS. The site access shall be constructed to an all-weather heavy vehicle standard and include measures to prevent the tracking of soil and silt from the site onto the road network.
31. A Road Safety Assessment, as recommended in the Traffic Impact Assessment Report prepared by Premise and dated 28 March 2018, is to be carried out by an RPEQ or accredited road safety auditor, and the recommendations of that assessment are to be carried out as part of the required works for the development. The Road Safety Assessment is to include Freestone Road between the Cunningham Highway and Freestone Creek Road, Robinson Road between Freestone Road and Jensen Road, and Jensens Road between Robinson Road and the site access. Where this condition requires works or alterations to Council's infrastructure, these alterations shall require an Operational Works Approval.
32. A pre-construction condition assessment, including joint inspections by the developers certifying engineer and Council's officers, is to be conducted on each of Robinson Road, Jensen Road, McMahon's Road and Gleeson Road. The roads are to be re-inspected upon completion of the construction period, and the developer shall rectify any damage caused to Council's infrastructure during the construction period. Inspections are to be organised and programmed by the developer. Please contact Council's Development Engineer to arrange these inspections.
33. If, once operational, the Solar farm generates traffic to the facility such that the number of vehicles using Robinson's Road and Jensens Road exceeds 150 vehicles a day, these roads are to be sealed to a 6.0 metre wide sealed road standard to provide sealed access from the intersection of Freestone Road and Robinson's Road to the entrance to the development site from Jensens Road. Such works are to include stormwater drainage.
34. Dust suppression measures are to be put in place on unsealed roads utilised by construction traffic to access the development, where those roads are within 200 metres of a dwelling house.

Stormwater Drainage

35. The developer's Consulting Engineer shall carry out catchment analyses and runoff modelling to confirm the suitability of existing stormwater infrastructure under Jensen's Road. The modelling shall account for partial area effects and determine the critical storm duration for the infrastructure. The provisions with regards to QUDM Table 4.5.4 regarding change from dryland broad-acre farming and grazing to retained groundcover are to be addressed in runoff modelling.
36. The modelling required by Condition 35 shall be based upon a detailed design surface of the site, which includes all contour banks, any drainage paths, access roads and other features which will concentrate stormwater flow.
37. Council's design standard for minor road culvert crossings is immunity up to and including 1 in 10 year ARI. Where the developers consulting engineer determines upgrades or modifications to the existing infrastructure are necessary, these works shall require an Operational Works Approval. Any

works undertaken to the existing waterways shall conform to the DAF code for self-assessable waterway barrier works, & construction and maintenance of culverts.

Water Supply and Waste water

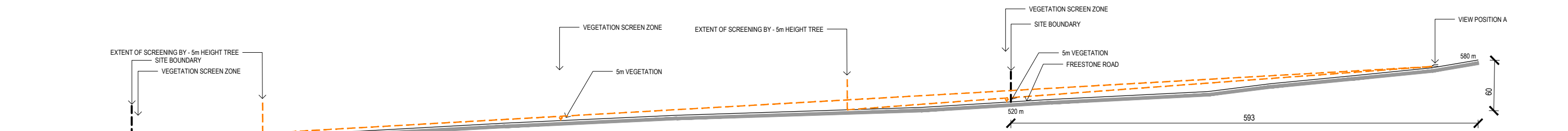
38. All sewage generated from this property must be disposed of by means of an on-site sewage facility (OSSF) in accordance with the AS/NZS 1547:2012 - *On-site Domestic Wastewater Management, Queensland Plumbing and Wastewater Code* and the *Standard Plumbing and Drainage Regulation 2003*.

Advisory Notes

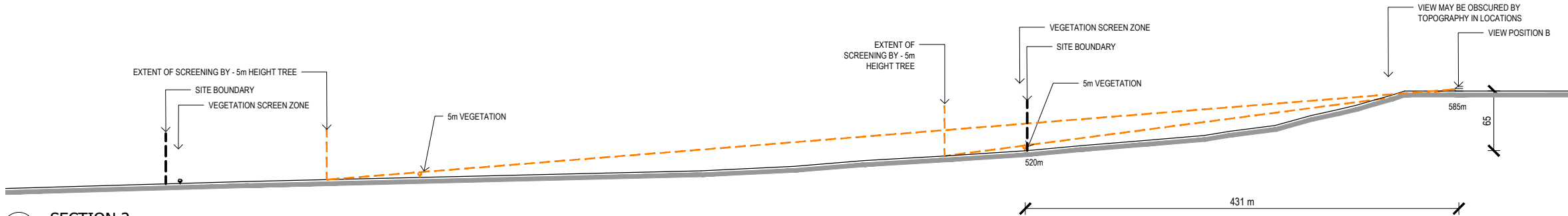
- (i) Unless otherwise stated, all conditions of this approval are to be complied with to the satisfaction of the Director Planning, Environment and Corporate Services, prior to the use commencing, and then compliance maintained at all times while the use continues.
- (ii) Any proposal to increase the scale or intensity of the use on the subject land, that is assessable development under the Planning Scheme, would be subject to a separate application for assessment in accordance with the *Planning Act 2016* and would have to comply with the requirements of the Planning Scheme.
- (iii) The General Environmental Duty under the *Environmental Protection Act 1994* prohibits unlawful environmental nuisance caused by noise, aerosols, particles dust, ash, fumes, light, odour or smoke, beyond the boundaries of the property during all stages of the development including earthworks, construction and operation.
- (iv) Any storage of flammable and/or combustible liquids must comply with the minor storage provision of Australian Standard AS1940 *The Storage and Handling of Flammable and Combustible Liquids*.
- (v) Council will not be sealing Robinson Road, Gleasons Road or Jensens Road as a result of complaints regarding the impact of dust on the solar facility.
- (vi) An application must be submitted and approved by Council for a permit under Southern Downs Regional Council's Subordinate Local Law No. 1.15 (Carrying Out Works on a Road or Interfering with a Road or its Operation).
- (vii) Site works must be constructed such that they do not, at any time, in any way restrict, impair or change the natural flow of runoff water, or cause a nuisance or worsening to adjoining properties or infrastructure.
- (viii) All engineering drawings/specifications, design and construction works must be in accordance with the requirements of the relevant *Australian Standards* and must be approved, supervised and certified by a Registered Professional Engineer of Queensland.

Aboriginal Cultural Heritage

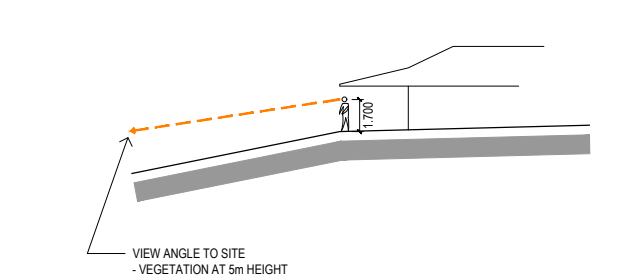
- (ix) All reasonable and practicable measures must be taken to ensure that no harm is caused to Aboriginal cultural heritage (the "cultural heritage duty of care"). The cultural heritage duty of care is met if the development is conducted in accordance with gazetted cultural heritage duty of care guidelines. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsima.qld.gov.au



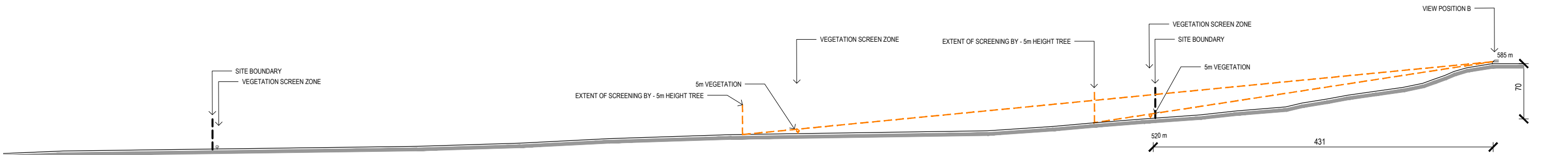
1 SECTION 1
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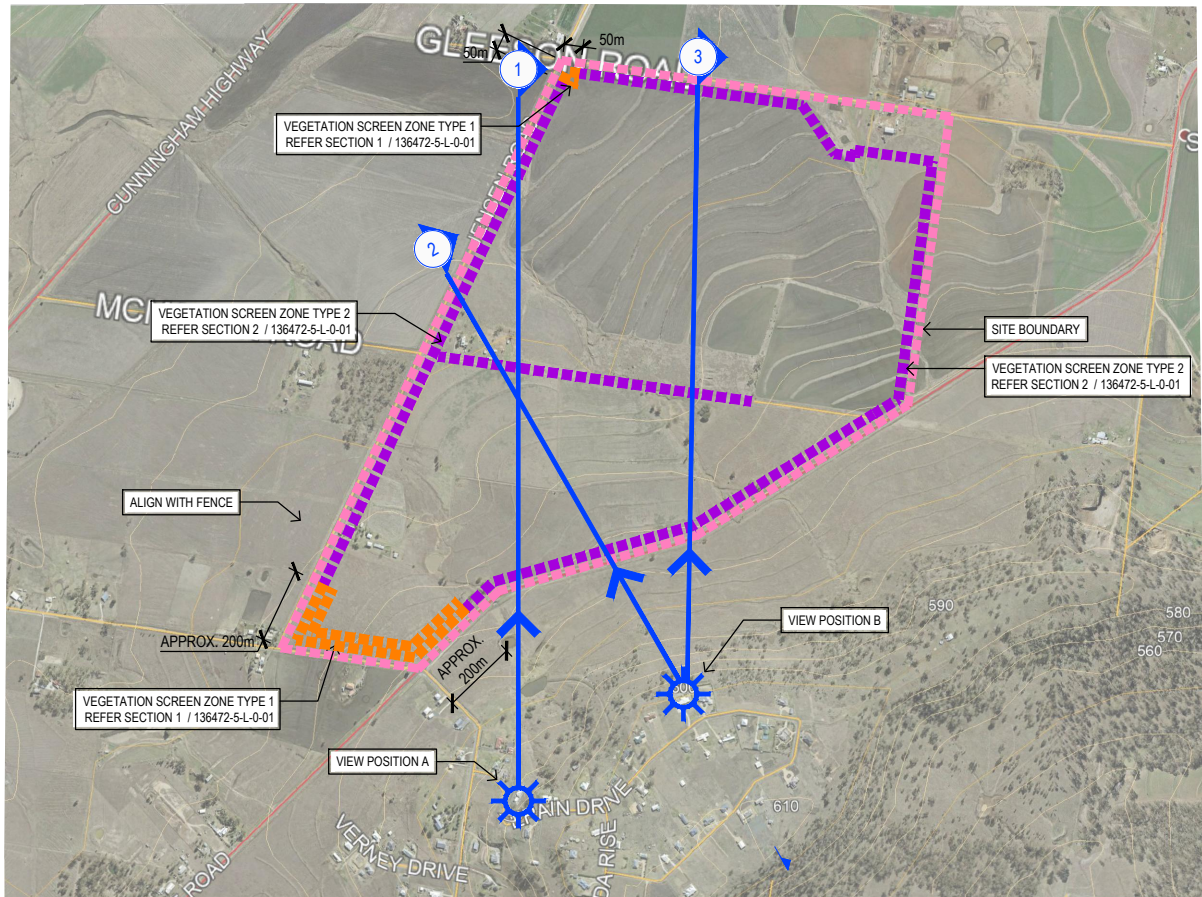
2 SECTION 2
Scale: 1:5000 @A3



4 VIEW POSITION A & B
Scale: 1:400 @A3



3 SECTION 3
Scale: 1:5000 @A3



5 SITE PLAN
Scale: 1:20000 @A3

- NOTE:
- MAINTAIN 500mm COMPETITION FREE AREA AROUND DESIRED PLANTS
 - TAKE CARE TO PRESERVE EXISTING DESIRABLE VEGETATION DURING INSTALLATION OF THE TUBESTOCK AND SITE MULCH

TREE MAX 'TREEGUARD SLEEVES' STAKED AS PER MANUFACTURES DETAIL CONTRACTOR IS TO ALLOW FOR REMOVAL OF TREE GUARDS AND STAKES WHEN IT IS APPARENT THAT INDIVIDUAL PLANT DEVELOPMENT IS HAMPERED BY SLEEVE OR AS DIRECTED BY LANDSCAPE ARCHITECT

PLANTING AS SHOWN ON PLAN & SCHEDULE

TREE MAX 370mm x 370mm 'MAT MAX' INDIVIDUAL JUTE MAT SQUARES WITH 3 PINS SURROUNDING PLANT STOCK SLASH MAINTAIN ADJOINING EXISTING VEGETATION AND WEED TREAT UNTIL NEW PLANTING ESTABLISHED

EXISTING NATURAL TOP SOIL DIG HOLE THREE TIMES LARGER THAN POT SIZE & BACKFILL WITH EXISTING NATURAL TOP SOIL


EXISTING SUB-GRADE 1 x 10gm AGRIFORM TABLET PER PLANT AS PER MANUFACTURER'S SPECIFICATION

6 TYPICAL REVEGETATION

Scale: 1:40 @A3


E	FOR INFORMATION	18/06/2018	DC	DC
D	FOR INFORMATION	15/06/2018	DC	DC
C	FOR INFORMATION	09/04/2018	DC	DC
B	FOR INFORMATION	27/03/2018	OC	DC
A	FOR INFORMATION	02/03/2018	DC	DC
rev. no	description	date	drawn	approved

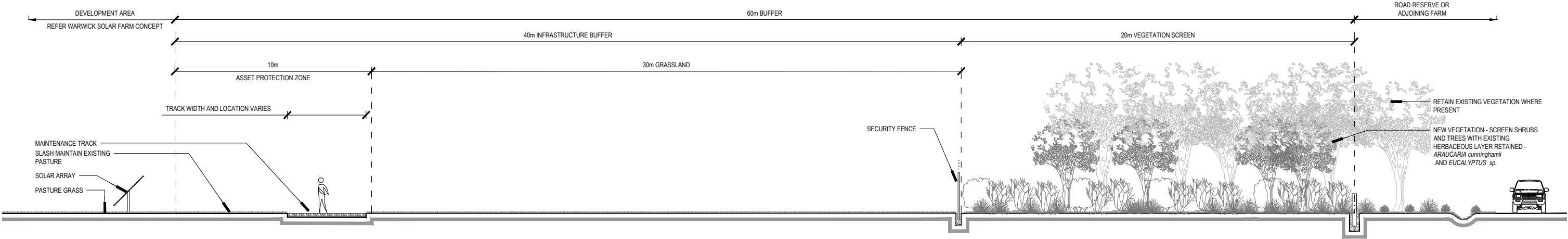
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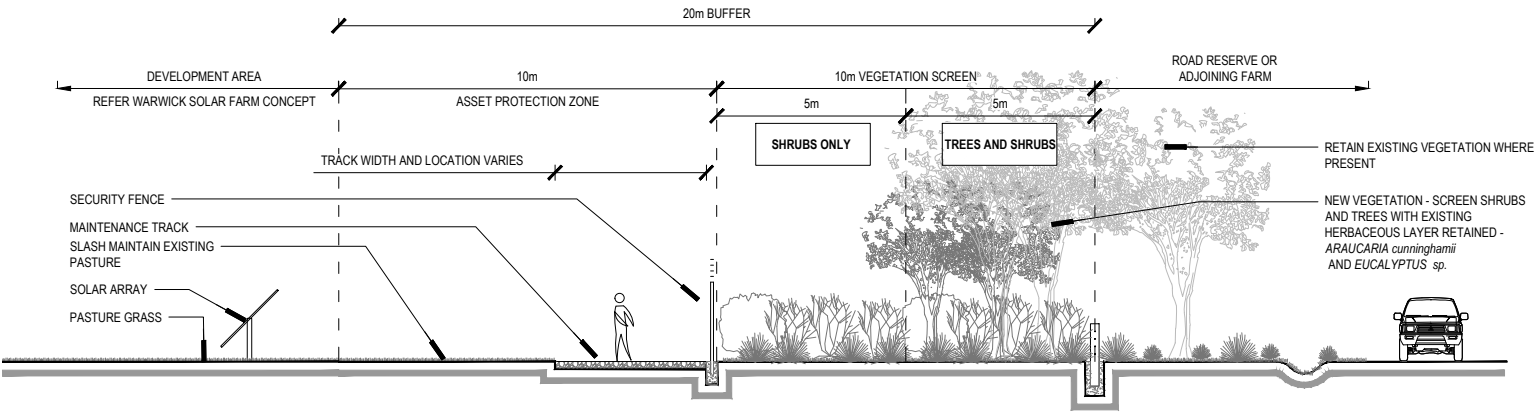
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client	TERRAIN SOLAR		
project name	WARWICK SOLAR FARM		
project location	GLEESONS ROAD, SLADEVILLE, QLD		
title	LANDSCAPE VIEW STUDY		
not to scale	AS SHOWN		
document number	136472-5 -	L-0-01 -	E
project		drawing	revision
northpoint			




1 INDICATIVE SECTION - VEGETATION SCREEN ZONE TYPE 1
Scale: 1:200 @A3



2 INDICATIVE SECTION - - VEGETATION SCREEN ZONE TYPE 2
Scale: 1:200 @A3

B	FOR INFORMATION	18/06/2018	DC	DC
A	FOR INFORMATION	15/06/2018	DC	DC
rev. no	description	date	drawn	approved

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L-0-02 - drawing	B revision
northpoint	